RIOT GAMES Riot Games Mercer Island

09.02.22

3003 77th Avenue Southeast Mercer Island WA 98040

ISSUE FOR PLAN CHECK L3 TERRACE

Gensler

500 South Figueroa Street Los Angeles, California 90071 United States Tel: 213.327.3600 Fax: 213.327.3601

#RIOT GAMES

Owner 3003 77TH AVENUS SOUTHEAST MERCER ISLAND, WQ 98040

BRUMBAUGH AND ASSOCIATES

LANDSCAPE 600 NORTH 85TH STREET, SUITE 102 SEATTLE, WA 98103

ARUP

MEP ENGINEER 1191 SECOND AVENUE, SUITE 400 SEATTLE, WA 98101

ELEVAT			
	ION INDICATION	CONSTR	RUCTION
///	GLASS SYMBOL		COLUMN GRID REFERENCE NUMBER
	WOOD VENEER	-	COLUMN GRID LINES
	STONE		(E) CONSTRUCTION TO REMAIN (E) CONSTRUCTION TO BE DEMOLISHED
			(N) CONSTRUCTION
			1 HOUR RATED CONSTRUCTION 2 HOUR RATED CONSTRUCTION
REFLEC	TED CEILING		3 HOUR RATED CONSTRUCTION 4 HOUR RATED CONSTRUCTION
+++	ACOUSTIC CEILING & GRID		(N) MILLWORK MILLWORK OVERHEAD
	ACOUSTIC CEILING & GRID		HIDDEN/BEYOND
xx'-xx"	CEILING HEIGHT CHANGE		OVERHEAD/ABOVE DRAWING NUMBER
XX'-XX"	FINISHED CEILING HEIGHT		- SHEET NUMBER - DESCRIPTION OF SIMILAR OR OPPOSITE
$_{\mathbf{A}}$	GRID START POINT SYMBOL	ŚĪM	AREA TO BE DETAILED
AT1	CEILING FINISH TAG		DRAWING NUMBER
MS	MOTION SENSOR		DIRECTION OF ELEVATION
X S	CEILING-MOUNTED SPEAKER	2 AX.XX	SHEET NUMBER
∑x ⊡⊲X	CEILING-MOUNTED CAMERA		REVISION NUMBER
→ →	CEILING-MOUNTED SPRINKLER HEAD		REVISED AREA
\bigcirc	CEILING-MOUNTED SMOKE DETECTOR	NAME	ROOM NAME
x _¤ x	CEILING-MOUNTED STROBE LIGHT	(01)	ROOM NUMBER SHEET NOTE
	CEILING-MOUNTED EXIT SIGNS		PARTITION TYPE
			DOOR NUMBER (SEE DOOR SCHEDULE)
\bigtriangledown	WALL MTD EXIT SIGNS - PARALLEL		DOOR NUMBER DOOR TYPE
	WALL MTD EXIT SIGNS - PERPENDICULAR		DOOR NUMBER DOOR TYPE HARDWARE TYPE
		××>	WINDOW TYPE (SEE WINDOW SCHEDULE)
	ACCESS DOOR	< MW01	MILLWORK TYPE (SEE MILLWORK SCHEDULE)
	S	•	ELEVATION DATUM REFERENCE
	CEILING GRID FIXTURE	+6"0"	FLOOR ELEVATION TRANSITION
	(E) FIXTURE TO BE REMOVED	MATCH LINE SEE XX/XX	(MATCH LINE
00	RECESSED DOWNLIGHT	ALIGN	ALIGN WITH ESTABLISHED / ADJACENT SURFACES
○	RECESSED ADJUSTABLE DOWNLIGHT RECESSSED WALL WASHER		
$\overset{\nabla \nabla \nabla}{\oplus}$	TRACK LIGHTING PENDANT LIGHTING	FW	WALL MOUNTED FIRE ALARM STROBE FIRE WARDEN STATION
\triangleright	WALL SCONCE	FA	FIRE ALARM PULL FIRE EXTINGUISHER
E R	DENOTES EXISTING TO REMAIN DENOTES EXISTING TO BE RELOCATED	FEC	FIRE EXTINGUISHER CABINET
\$	WALL SWITCH	FV	FIRE VALVE FIRE VALVE CABINET
D \$	DIMMER SWITCH	FHC	FIRE HOSE CABINET
MECHANICAL F	IXTURES	SECTIO	N INDICATIONS
	RETURN AIR		ACOUSTICAL CEILING TILE
	SUPPLY AIR		
\ge			ALUMINUM
	CIRCULAR DIFFUSER		
	CIRCULAR DIFFUSER LINEAR DIFFUSER EXHAUST FAN		BRICK
	LINEAR DIFFUSER		
	LINEAR DIFFUSER		BRICK
G FINISH	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG		BRICK CARPET
FINISH	LINEAR DIFFUSER EXHAUST FAN		BRICK CARPET CONCRETE
S FINISH	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE
FINISH	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP.		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE EARTH
FINISH	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE EARTH FABRIC WRAPPED PANEL
Image: Signal with the second	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE EARTH
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Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE EARTH FABRIC WRAPPED PANEL GLASS
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE EARTH FABRIC WRAPPED PANEL GLASS GRAVEL
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE CUT STONE EARTH FABRIC WRAPPED PANEL GLASS GRAVEL GYPSUM PLASTER
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE CUT STONE EARTH FABRIC WRAPPED PANEL GLASS GRAVEL GRAVEL INSULATION (LOOSE OR BATT)
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE CUT STONE EARTH FABRIC WRAPPED PANEL GLASS GRAVEL GRAVEL GYPSUM PLASTER INSULATION (LOOSE OR BATT) INSULATION (RIGID)
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICK CARPET CONCRETE CONCRETE MASONRY UNIT CUT STONE CUT STONE EARTH FABRIC WRAPPED PANEL GLASS GRAVEL GRAVEL INSULATION (LOOSE OR BATT)
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Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICKCARPETCONCRETECONCRETE MASONRY UNITCUT STONEEARTHFABRIC WRAPPED PANELGRAVELGYPSUM PLASTERINSULATION (LOOSE OR BATT)INSULATION (RIGID)METALPLASTICPLYWOOD
FINISH XXXX XXXX XXXX XXXX	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICKCARPETCONCRETECONCRETE MASONRY UNITCUT STONEEARTHFABRIC WRAPPED PANELGLASSGRAVELGYPSUM PLASTERINSULATION (LOOSE OR BATT)INSULATION (RIGID)METALPLASTICPLYWOODPRE-CAST PANELSSAND OR GROUT
Image: system of the system of	LINEAR DIFFUSER EXHAUST FAN WALL FINISH TAG BASE FINISH TAG EXTENT OF FINISH TYP. WALL FINISH TAG SPECIAL FINISH TAG FLOOR FINISH TAG CEILING FINISH TAG		BRICKCARPETCONCRETECONCRETE MASONRY UNITCUT STONECUT STONEFABRIC WRAPPED PANELGLASSGRAVELGYPSUM PLASTERINSULATION (RIGID)METALPLASTICPLASTICPLASTICSAND OR GROUTSTONE
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ABBREVIATIONS

ACCES

ACOUS

AFF

ALT

ANNUNC

ANOD

APC

APPL

AUTO

AVG

BD

BLDG

BLKG

BOLLD

BRDLM

BU

CAB

CEM

CER

CLG

CMU

COATG

COILG

CONC

CONT

COV

CPT

DBL

DEPT

DES

DET

DF

DIA DIFF

DIM

DIV

DN

DR

DISP

DSCON

DWR

ELAST

ELEC

EMBED

ENGR

ENTR

EQUIP

EXP JT

EXPS

EXT

FAB

FE&C

FHC

FLDG

FLR

FPLC

FRMG

FURN

FWC

FXTR

FXD

GC GFRC

GFRG

GFRP

GL

GR

GWB

GYP

HD

HDWD

HDWE

HORIZ

HVAC

INFILTR

INSTRUM

INFO

INSUL

INTLK

JAN

INT

HM

HP

FR

FIN

EQ

CONSTR

CONTR

AL

ACCESSORY ACOUSTIC(AL) ABOVE FINISHED FLOOR ALUMINUM ALTERNATE ANNUNCIATOR ANODIZED ACOUSTIC PANEL CEILING APPLIANCE AUTOMATIC AVERAGE

BOARD BUILDING BLOCKING BOLLARD BROADLOOM BUILT UP

CABINET CEMENT(ITIOUS) CERAMIC CEILING CONCRETE MASONRY UNIT COATING COILING CONCRETE CONSTRUCTION CONTINUOUS(ATION) CONTRACT(OR) COVER CARPET

DOUBLE DEPARTMENT DESIGN(ED) DETAIL DRINKING FOUNTAIN DIAMETER DIFFUSER DIMENSION DISPENSER DIVISION DOWN DOOR DISCONNECT

EXISTING ELASTOMERIC ELECTRICAL EMBEDD(ED)(ING) ENGINEER(ED) ENTRANCE EQUAL EQUIPMENT EXPANSION JOINT EXPOSE(D) EXTERIOR

DRAWER

FABRICATION FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER AND CABINET FIRE HOSE CABINET FINISH FOLDING FLOOR(ING) FIREPLACE FIRE RAT(ING)(ED) FRAMING FURNITURE FABRIC WALL COVERING FIXED FIXTURE

GAUGE GENERAL CONTRACTOR GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS FIBER REINFORCED PLASTER GLASS GRAD(E)(ING) GYPSUM WALL BOARD GYPSUM

HEAD HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HEATING, VENTILATING, AND AIR CONDITIONING

INFILTRATION INFORMATION INSTRUMENT(ATION) INSULATION INTERIOR INTERLOCK(ING)

JANITOR

KIT LAV LB LL LOUVER LP LT LVLG

MAX MECH MEMB MET MEZZ MFD MFR MIN MISC MOIST MOT MTD MW MWV

> NIC NO NTS 000 OH OPNG

ORNA OVFL OVHD PBD PEDTR PLAM PLAS PLSTC PLYWD PNL POLYST

PORT

PREFAB

PREFIN

OPR

PRTECN PTN RDR RECES RECPT REF REFL REFR REQD RESIS RFG

RM

RN

RO

SCR SECUR SF SGL SHORG SIM SST STD STL STRFR STRUCT SURF SUSP SYS

T&G THK TLT TOS TRAF TRANS TRTD TYP

UNDRLY UON UTIL VEH VERT VIF W/ W/O

WC

WD

WΤ

WDW

WTRPRF

MANUFACTURER MINIMUM MISCELLANEOUS MOISTURE MOTOR(IZED) MOUNTED MILLWORK MILLWORK VENDOR NOT IN CONTRACT NUMBER NOT TO SCALE

KITCHEN

LAVATORY

LEASE LINE

LOW POINT

LEVELING

MAXIMUM

MECHANICAL

MEMBRANE

MEZZANINE

MANUFACTURED

METAL

LOUVER

LIGHT

POUND

OCCUPANT **OPPOSITE HAND** OPENING(S) OPERABLE ORNAMENTAL OVERFLOW OVERHEAD

PARTICLE BOARD PEDESTRIAN PLASTIC LAMINATE PLASTER PLASTIC PLYWOOD PANEL POLYSTYRENE PORTABLE PREFABRICATED PREFINISHED PROTECTION PARTITION

READER RECESS(ED) RECEPTACLE REFER(ENCE) REFLECTED REFRIGERATOR REQUIRED RESIST(ANT)(IVE) ROOFING ROOM ROOF DRAIN

ROUGH OPENING

SCRIBE SECURITY SQUARE FEET SINGLE SHORING SIMILAR STAINLESS STEEL STANDARD STEEL STOREFRONT STRUCTURAL SURFACE SUSPENDED SYSTEM(S)

TONGUE AND GROOVE THICK TOILET TOP OF STEEL TRAFFIC TRANSPARENT TREATED TYPICAL

UNDERLAYMENT UNLESS OTHERWISE NOTED UTILITY

VEHICLE VERTICAL VERIFY IN FIELD

WITH WITHOUT WATER CLOSET WOOD WINDOW WEIGHT WATERPROOFING

DRAWING INDEX

L6.01

Sheet Number G0.105 PROJECT INFO_L3 TERRACE G0.202 OCCUPANCY AND EGRESS PL A0.103 CONSTRUCTION PLAN - L3 TEF L0.01 COVER / NDEX L1.01 LANDSCAPE DEMO PLAN - TEF L2.01 LANDSCAPE LAYOUT PLAN - T 13.0° LANDSCAPE MATERIALS PLAN L4.01 LANDSCAPE GRADING PLAN -L5.01 PLANTING PLAN - TERRACE

GENERAL NOTE

- GOVERNING THE WORK.
- THE WORK.
- CLARIFICATION PRIOR TO BIDDING OR PERFORMING ANY WORK IN QUESTION. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW

- TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE. TENANT AND LANDLORD TO ENSURE SECURITY.
- ARCHITECT. 10. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- LINE, GAS LINE, DOMESTIC WATER, ETC.

CONSTRUCTION NOTES

- ALL EXISTING CONSTRUCTION SHOWN TO REMAIN U.O.N. CONTRACTOR TO PATCH AND REPAIR ANY AREA AFFECTED BY CONSTRUCTION TO BE IN "LIKE NEW" CONDITION.
- KEYING AND SIGNAGE ALLOWANCE.

OWNER:
#RIOT GAMES
3003 77TH AVENUE SOUTHEAST
MERCER ISLAND, WA 98040

ARCHITECT: GENSLER 500 SOUTH FIGUEROA STREET LOS ANGELES, CALIFORNIA 90071

LANDSCAPE: BRUMBAUGH & ASSOCIATES 600 NORTH 85TH STREET, SUITE 102 SEATTLE, WA 98103

PLUMBING: ARUP 1191 SECOND AVENUE, SUITE 400 SEATTLE, WA 98101

ELECTRICAL: ARUP 1191 SECOND AVENUE, SUITE 400 SEATTLE, WA 98101

Sheet Name	07.29.22_ISSUE FOR PLAN CHECK_EXTERIOR
PROJECT INFO_L3 TERRACE	•
OCCUPANCY AND EGRESS PLAN - L3 TERRACE	•
CONSTRUCTION PLAN - L3 TERRACE	•
COVER / NDEX	•
LANDSCAPE DEMO PLAN - TERRACE	•
LANDSCAPE LAYOUT PLAN - TERRACE	•
LANDSCAPE MATERIALS PLAN - TERRACE	•
LANDSCAPE GRADING PLAN - TERRACE	•
PLANTING PLAN - TERRACE	•
SECTIONS AND DETAILS - TERRACE	•

COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING

REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR

PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. SEE ALSO PROJECT SPECIFICATIONS. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE

MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH 9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE

11. GC TO COORDINATE WITH LANDLORD OF ANY RELOCATION OF (E) SERVICE LINES, SUCH AS WATER

UNLESS OTHERWISE DIRECTED BY OWNER, ARCHITECT, OR PROJECT MANAGER, GC TO PROVIDE ALL PENETRATIONS THROUGH RATED ASSEMBLIES MUST BE FIRE SEALED PER UL METHODS. CONTRACTOR SHALL PREPARE AND IMPLEMENT CONSTRUCTION WASTE MANAGEMENT PLAN IN COMPLIANCE WITH LOCAL JURISDICTION REQUIREMENTS AND PROJECT LEED CERTIFICATION GOALS.

<u>NAME:</u> RIOT GAME ADDRESS: 3033 77TH A

ASSESSOR' 531510-1015 PLat Block:

PLat Lot: 7 THRU 12 PROJECT D TENANT IMP COMMERIC

LEGAL DES MC GILVRAS

LEVEL 02 LEVEL 03 LEVEL 04 TYPE OF CONSTRUCTION: TYPE 1A

FIRE RESISTIVE SYSTEM AND FIRE ALARM SYSTEM: SPRINKLERED PER NFPA13 QUICK RESPONSE HEADS EMERGENCY VOICE / ALARM COMMUNICATION SYSTEM REQUIRED AUTOMATIC SPRINKLER SYSTEMS NFPA 13 PROVIDED THROUGHOUT (MECHANICAL AS-BUILTS SHEET M0.0)

FIRE RESISTANCE RATING - BUILDING ELEMENTS: STRUCTURAL FRAME 3 HOURS FLOOR CONSTRUCTION 2 HOURS ROOF CONSTRUCTION 1.5 HOURS FIRE DEPARTMENT STANDPIPES:

STANDPIPE HOSE IS NOT REREQUIRED AT HORIZONTAL EXIT PER 905.4 SECTION 2 EXCEPTION PORTABLE FIRE EXTINGUISHERS REQUIRED THROUGHOUT MANUAL PULL STATIONS: PROVIDED

OCCUPANCY TYPE:

Washington State Energy Code (WCEC)

VICINITY MAP



Clyde Hill Lange V CAPITOL HILL Seattle SITE ercer Island, WA. Mercer Island FACTORIA Newcastle RAINIER VALL SITE LOCATION MAP



PROJECT INFORMATION

RIOT GAME	
ADDRESS: 3033 77TH AVENUE	SOUTHEAST, MERCER ISLAND, WA 98040
ASSESSOR'S PARC 531510-1015	EL NO.:
<u>PLat Block:</u> 11	
	Y <mark>TION:</mark> MENT FOR EXISTING TERRACE ON LEVEL 3 OF A 5-STORY DING. 3,235 SF OF IMPROVEMENT.
LEGAL DESCRIPTIC MC GILVRAS ISLAN BUILDING HEIGH	D ADD LESS CO RD
LEVEL 02 LEVEL 03 LEVEL 04	

MECHANICAL SMOKE CONTROL SYSTEM: NOT REQUIRED / NOT PROVIDE

EMERGENCY RESPONDER RADIO COVERAGE: PROVIDED THROUGHOUT

MIXED OCCUPANCY CLASSIFICATION: SEPARATED MIXED-USE (2 HOUR SEPARATIONS AT THE FLOOR) NON-SEPARATED MIXED-USE ON A FLOOR BY FLOOR BASIS

B OFFICE, A-2 ASSEMBLY, A-3 ASSEMBLY, S-1 STORAGE, S-2 STORAGE

APPLICABLE CODES: 2018 International Building Code (IBC) with Washington State and Mercer Island amendments 2018 International Fire Code (IFC) with Washington State and Mercer Island amendments 2018 International Existing Building Code (IEBC) with Washington State and Mercer Island amendments 2018 International Mechanical Code (IMC) 2018 International Fuel Gas Code (IFGC) 2018 Uniform Plumbing Code (UPC) 2018 International Fire Code (IFC)

ICC/ANSI A117.1-09, Accessible and Usable Buildings and Facilities, with statewide and City amendments

RIOT GAMES 3003 77th Avenue Southeast Mercer Island

WA 98040

Gensler

500 South Figueroa Street Los Angeles, California 90071 United States

Tel 213.327.3600 Fax 213.327.3601

- SITE

Scale 1/8" = 1'-0"

PROJECT INFO_L3 TERRACE

G0.105

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Riot Games Mercer Island

RECISTERE

ARCHITECT

Project Number

Description

05.3853.000

Date Description

09.02.22 ISSUE FOR PLAN CHECK_L3 TERRACE

Project Name

Seal / Signature

alt LEWIS CHU STATE OF WASHINGTON

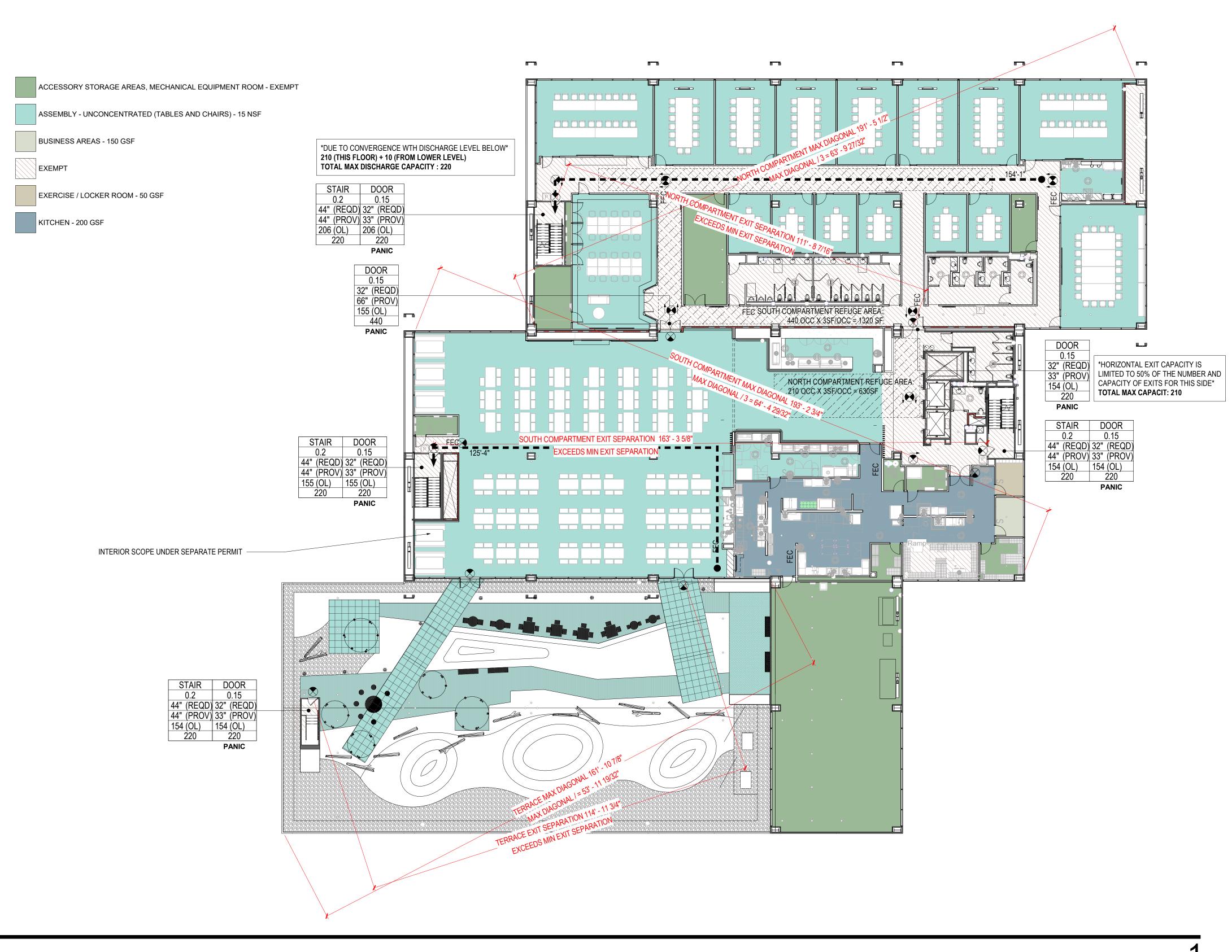
Number	Name	Area	Occ Load
			·
	DRY STORAGE AREAS, MECHANICAL E	QUIPMENT ROOM - E	XEMPT
3K04	ELECTRICAL	70.29 SF	
3G15	JAN. CLOS.	54.90 SF	
3G16	ELEC ROOM	85.27 SF	
3G20	DRY STORAGE	147.67 SF	
3G21	CATERING STORAGE	110.62 SF	
(E)	(E) MECH	2805.40 SF	
	-	3274.15 SF	
ASSEMBL	Y - UNCONCENTRATED (TABLES AND	CHAIRS) - 15 NSF	
3K13	SERVERY	1834.71 SF	12
3J08	DINING	6296.21 SF	42
3E04	OUTDOOR SEATING AREA	1123.53 SF	7
3E05	OUTDOOR TERRACE	1164.88 SF	7
3E06	OUTDOOR SEATING AREA	946.09 SF	6
		11365.42 SF	76
BUSINES	S AREAS - 150 GSF		
3G19	OFFICE	95.23 SF	
		95.23 SF	
EXEMPT			
EXEMPT 3M17	WOMEN'S	206.03 SF	
3M17		206.03 SF 70.61 SF	
3M17 3K17	ALL GENDER	70.61 SF	
3M17 3K17 3L15	ALL GENDER HALLWAY	70.61 SF 647.34 SF	
3M17 3K17	ALL GENDER	70.61 SF 647.34 SF 62.00 SF	
3M17 3K17 3L15 3K03	ALL GENDER HALLWAY VEST.	70.61 SF 647.34 SF	
3M17 3K17 3L15 3K03 EXERCIS	ALL GENDER HALLWAY VEST. E / LOCKER ROOM - 50 GSF	70.61 SF 647.34 SF 62.00 SF 985.99 SF	
3M17 3K17 3L15 3K03	ALL GENDER HALLWAY VEST.	70.61 SF 647.34 SF 62.00 SF 985.99 SF 88.68 SF	
3M17 3K17 3L15 3K03 EXERCIS 3G18	ALL GENDER HALLWAY VEST. E / LOCKER ROOM - 50 GSF LOCKER ROOM	70.61 SF 647.34 SF 62.00 SF 985.99 SF	
3M17 3K17 3L15 3K03 EXERCIS 3G18 KITCHEN	ALL GENDER HALLWAY VEST. E / LOCKER ROOM - 50 GSF LOCKER ROOM - 200 GSF	70.61 SF 647.34 SF 62.00 SF 985.99 SF 88.68 SF 88.68 SF	
3M17 3K17 3L15 3K03 EXERCIS 3G18	ALL GENDER HALLWAY VEST. E / LOCKER ROOM - 50 GSF LOCKER ROOM	70.61 SF 647.34 SF 62.00 SF 985.99 SF 88.68 SF	

OCC SCHEDULE- LEVEL 3 (NORTH)				
Number	Name	Area	Occ Load	
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM - EXEMPT				
3Q18	AV	119.35 SF		
3P10	FURN. STORAGE	411.53 SF		
3N07	IDF	197.49 SF		
(E)	(E) ELEC	30.71 SF		
759.07 SF				
ASSEMBL	Y - UNCONCENTRATED (TABLES AND CHAIRS	S) - 15 NSF		
3S19	FLEX ROOM	587.48 SF	40	
3T08	FLEX ROOM	622.25 SF	42	
3S12	CONFERENCE	358.86 SF	24	
3S13	CONFERENCE	359.17 SF	24	
3S15	CONFERENCE	358.94 SF	24	
3S16	CONFERENCE	359.09 SF	24	
3S17	CONFERENCE	360.23 SF	25	
3S10	CONFERENCE	359.24 SF	24	
3P08	PC CAFE	766.39 SF	52	
3R13	CONFERENCE	179.64 SF	12	
3R14	CONFERENCE	184.04 SF	13	
3R15	CONFERENCE	184.30 SF	13	
3Q16	CONFERENCE	180.11 SF	13	
3Q17	CONFERENCE	179.58 SF	12	
3R12	CONFERENCE	188.49 SF	13	
3R20	PANTRY	130.70 SF	9	
3P20	FLEX ROOM	703.15 SF	47	
6061.67 SF 411 EXEMPT				
3P12	MEN'S	306.86 SF		
3P14	WOMEN'S	315.23 SF		
3R16	HALLWAY	2775.33 SF		
3P17	ALL GENDER	55.13 SF		
3P16	ALL GENDER	55.13 SF		
3P15	ALL GENDER	62.31 SF		
3N18	VEST.	127.80 SF		
3P18	ALL GENDER	92.43 SF		
L		3790.21 SF	0	
Grand total		10610.95 SF	411	
* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE).				

* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE). TOTAL EXIT CAPACITY :1,100

* DUE TO CONVERGENCE, 50% LIMITATION, OR HORIZONTAL EXIT LIMITATIONS (WHERE APPLICABLE). TOTAL EXIT CAPACITY :420

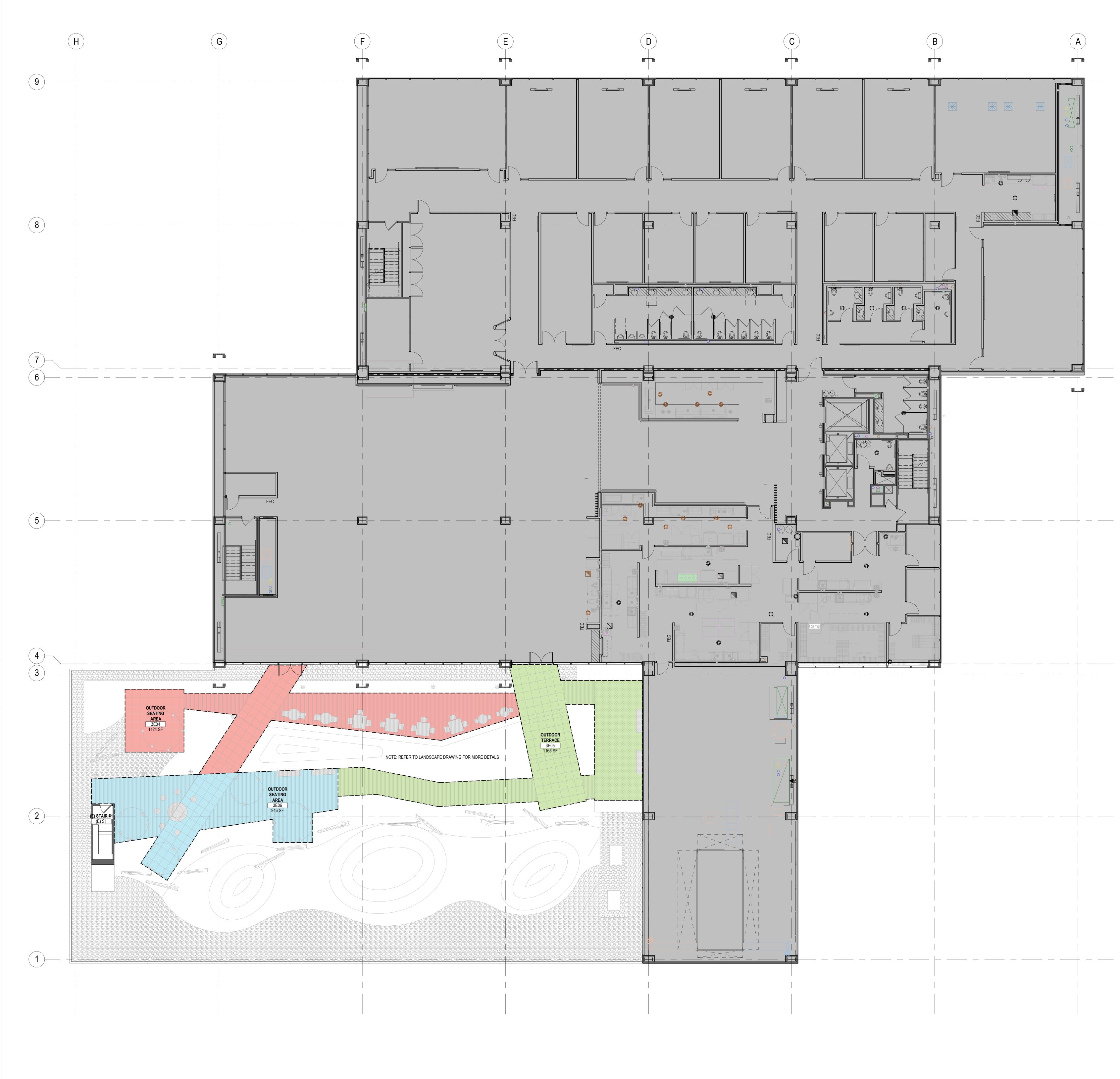
L3 OCCUPANCY AND EGRESS (TERRACE) SCALE: 1/16" = 1'-0"



1

SHEET NOTES	
	RIOT GAMES 3003 77th Avenue Southeast Mercer Island WA 98040
	Gensier 500 South Figueroa Street Los Angeles, California 90071 United States
LEGEND	Date Description 09.02.22 ISSUE FOR PLAN CHECK_L3 TERRACE
(N) 2 HR RATED CONSTRUCTION (E) CONSTRUCTION TO REMAIN (E) CONSTRUCTION TO REMAIN (N) NON-REATED CONSTRUCTION (N) NON-REATED CONSTRUCTION (N) NON-REATED CONSTRUCTION (N) NON-REATED CONSTRUCTION (N) REFUGE AREA (N) EXIT SIGN (N) EXIT SIG	
$0"$ $(PROV)$ \leftarrow WIDTH PROVIDED (OL) \bigcirc \bigcirc \bigcirc 0 \leftarrow \bigcirc \bigcirc 0 \leftarrow \bigcirc \bigcirc $PANIC$ \leftarrow PANIC HARDWARE REQUIRED $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow EXIT ACCESS TRAVEL WITH TRAVEL DISTANCE $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow \bigcirc $\bullet^{0'-0"}$ \leftarrow \bigcirc	
	Seal / Signature Signature Signature Image: I
	scale 1/16" = 1'-0" GO.202

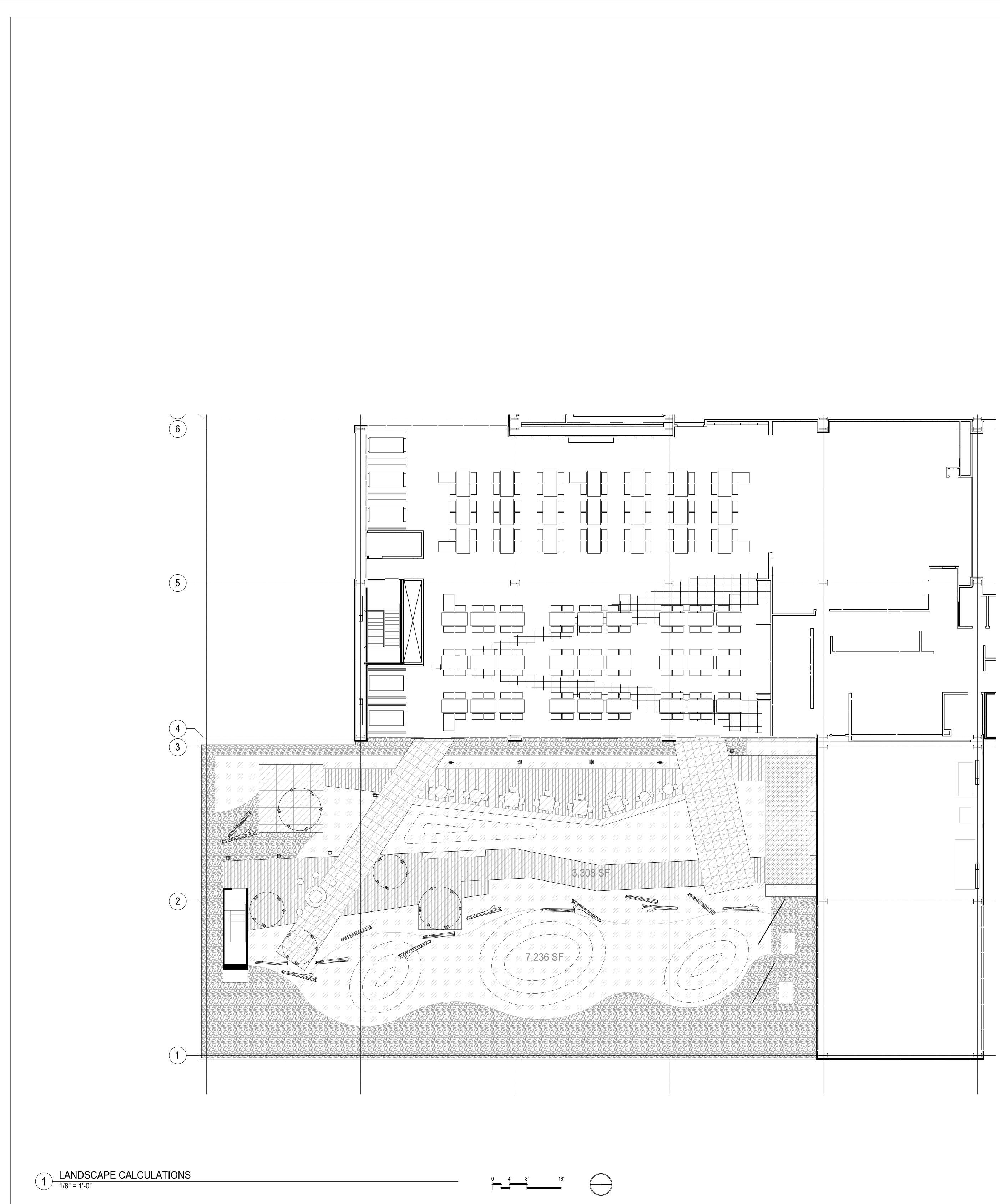
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22 11:05:47 BIM 360://005.3853.000 - Riot Games Seattle/Interiors - Riot 005.3853.000 - R21.rvt

SHEET NOTES	RIOT GAMES 3003 77th Avenue Southeast Mercer Island WA 98040
	Gensier500 South Figueroa Street Los Angeles, California 90071 United StatesTel 213.327.3600 Fax 213.327.3601
 REF. G0.105 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES, GC TO CLEAN / REPAIR EXISTING PERIMETER MULLION / CONVECTOR TO LIKE NEW CONDITION. ALL PERIMETER WALLS AND COLUMNS TO RECEIVE CORNER BEADS AND PATCHING TO "AS NEW CONDITION" EXIST GWB FURRING TO BE EXTENDED TO 6" ABOVE CLG. U.O.N. WHERE NEW SLAB HEIGHT WALL CONSTRUCTION MEETS COLUMN EXTEND GYP BD ON COLUMN TO DECK. PROVIDE FLEXIBLE SEALANT (WHITE) WHERE GYPSUM IS IN THE SAME PLANE OF EXISTING ARCHITECTURE. COORDINATE LOCAITONS IN FIELD FOR APPROVAL BY ARCHITECT. NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED. 	
 ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED. PEFER TO PROJECT MANUAL AND DOOR SCHEDULE FOR UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES. PATCH AND REPAIR SURFACES DAMAGED AS A RESULT OF WORK PERFORMED ON THIS PROJECT. PATCH AND REPAIR EXIST SURFACES AS REQ'D TO RECEIVE NEW FNISH. RELAMINATE ANY / ALL PERIMETER OR INTERIOR COLUMNS TO ACHIEVE REQUIRED FIRE RATING. COORDINATE FINAL DIMENSIONS WITH ARCHITECT AT EACH LOCATIONS. SEE PARTITION TYPE D. FOR ANY FLOOR PENETRATION - X-RAY SLAB PRIOR TO CUTTING. CUT NO MORE THAN (1) BAR T&B EA DIRECTION, TYP. PATH AND REPAIRING EXISTING ROOFING TO MAINTAIN ROOFING WARRANTY. 	△ Date Description 09.02.22 ISSUE FOR PLAN CHECK_L3 TERRACE
LEGEND	Seal / Signature
EGEND EXISTING WALL TO REMAIN EXISTING DOOR TO REMAIN NEW INTERIOR WALL NEW INTERIOR WALL NEW DOOR AREA NOT IN SCOPE MILLWORK FEC SEMI-RECESSED FIRE EXTINGUISHER CABINET	S961 REGISTERED ARCHITISCT LEWVIS CHU STATE OF WASHINGTON Project Name Riot Games Mercer Island Project Number 05.3853.000 Description
	CONSTRUCTION PLAN - L3 TERRACE Scale 1/8" = 1'-0" Ref North A0.103

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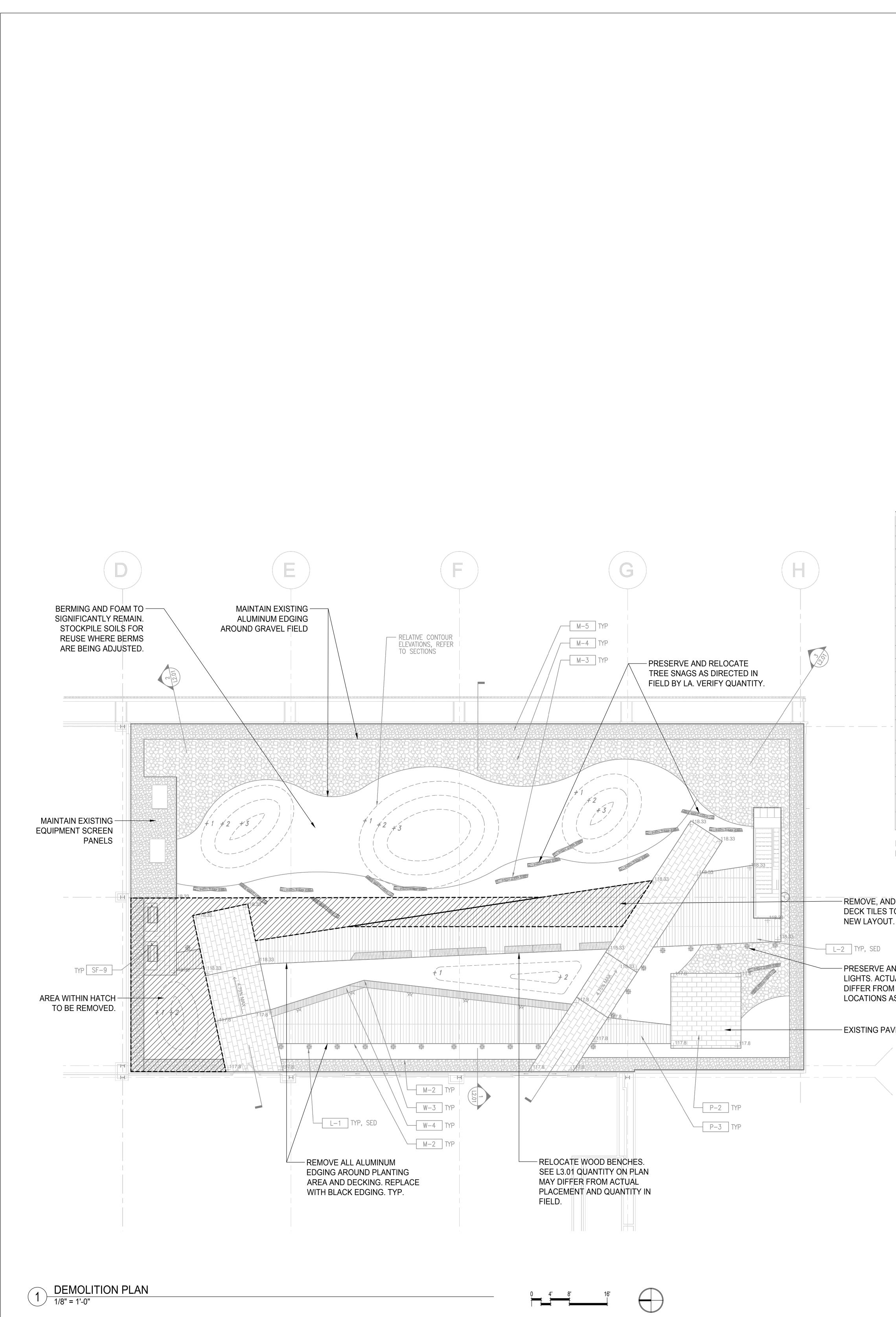




SHEET	DESCRIPTION
L0.01	COVER / INDEX
L1.01	DEMO PLAN
L2.01	LAYOUT PLAN
L3.01	LANDSCAPE PLAN
L4.01	LANDSCAPE GRADI
L5.01	PLANTING PLAN
L6.01	DETAILS

Brumbaugh & Associates
Landscape Architecture 600 North 85th Street, Suite 102 Seattle, WA 98103 - 3826 Telephone 206 782 3650
Telephone 206 782 3650 Facsimile 206 782 3675
RIOT GAMES
MERCER ISLAND, WA 98040
STATE OF WASHINGTON REGISTERED
LANDSCAPE ARCHITECT KRISTEN B. LUNDQUIST CERTIFICATE NO. 815
SUBMITTAL
09.02.22 ISSUE FOR PLAN CHECK L3 TERRACE
REVISIONS
REVISION DATE REASON FOR ISSUE
09/02/2022 SHEET NAME
COVER/INDEX
L0.01

DING PLAN



SCHE	DULE OF MATERIALS &	FINISHES		
KEY	DESCRIPTION	DETAIL		
PAVING	PAVING AND PAVING ACCESSORIES			
P-2	PEDESTAL SET PAVERS	2/L8.01		
P-3	WOOD DECKING OVER PEDESTAL	2/L8.01		
P-4	PEDESTAL SYSTEM	2/L8.01		
WALLS	WALLS & LANDSCAPE STRUCTURES			
W-3	PLANTER WALL	5/L8.01		
W-4	WOOD BENCH	7/L8.01		
DRAINA	GE			
D-1	DRAIN MAT	3/L10.04		
LIGHTIN	LIGHTING			
L-1	BOLLARD LIGHT			
L-2	WALL LIGHT			
SITE FL	SITE FURNISHINGS			
SF-9	BBQ	_		
MISCELI	MISCELLANEOUS			
M-1	MULCH	_		
M-2	EDGE CONSTRAINT	6/L8.01		
M-3	DRIFTWOOD			
M-4	DECORATIVE AGGREGATE	6/L8.01		
M-5	GRAVEL	6/L8.01		

LEGEND FROM EXISTING RYAN COMPANIES PLANS SHOWN FOR REFERENCE.

- REMOVE, AND PRESERVE FULL DECK TILES TO BE REUSED IN

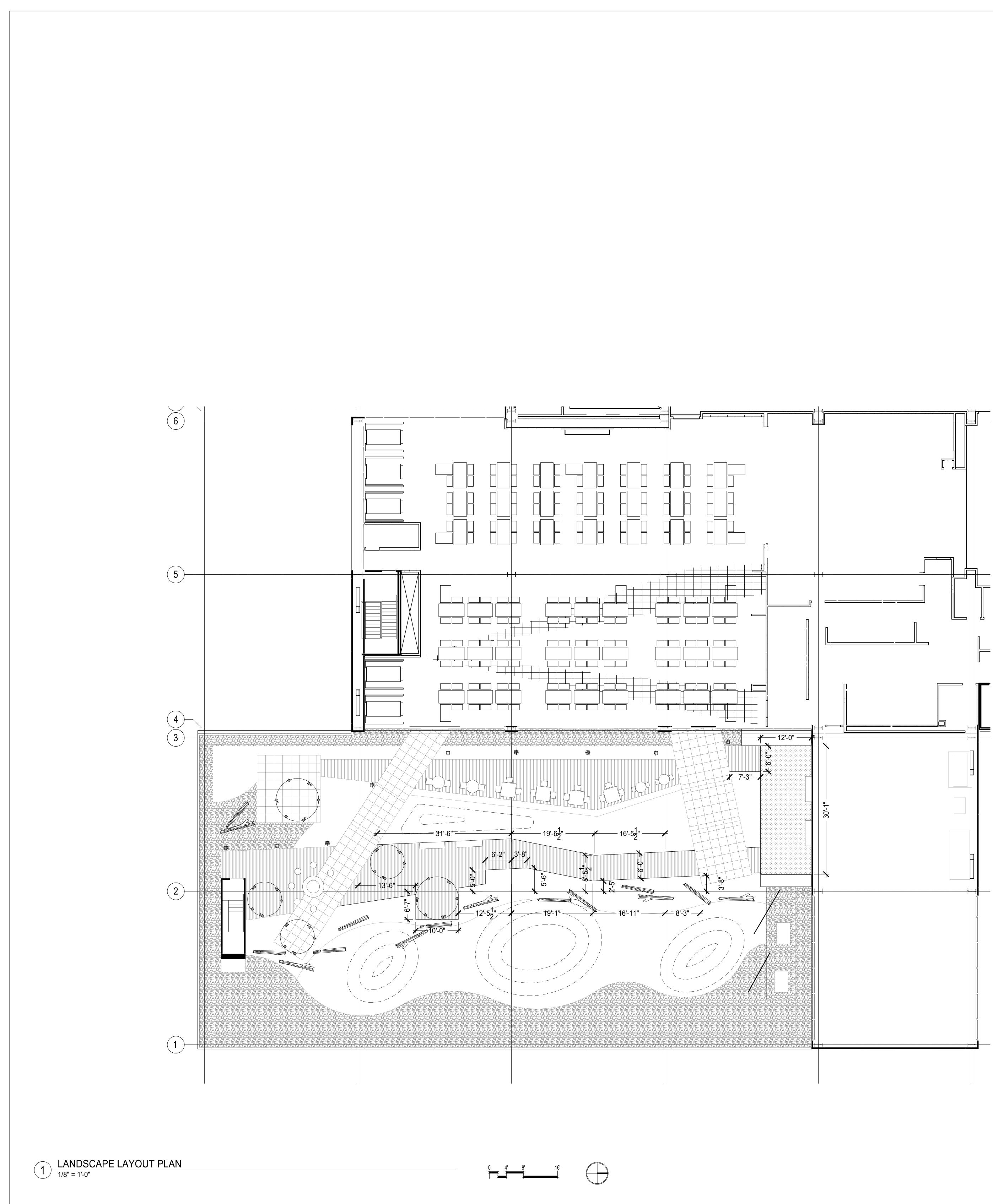
- PRESERVE AND MAINTAIN EXISTING BOLLARD LIGHTS. ACTUAL QUANTITY IS 9 AND LOCATIONS DIFFER FROM PLAN. SEE L3.01 FOR APPROXIMATE LOCATIONS AS OBSERVED IN FIELD.

- EXISTING PAVERS TO REMAIN.

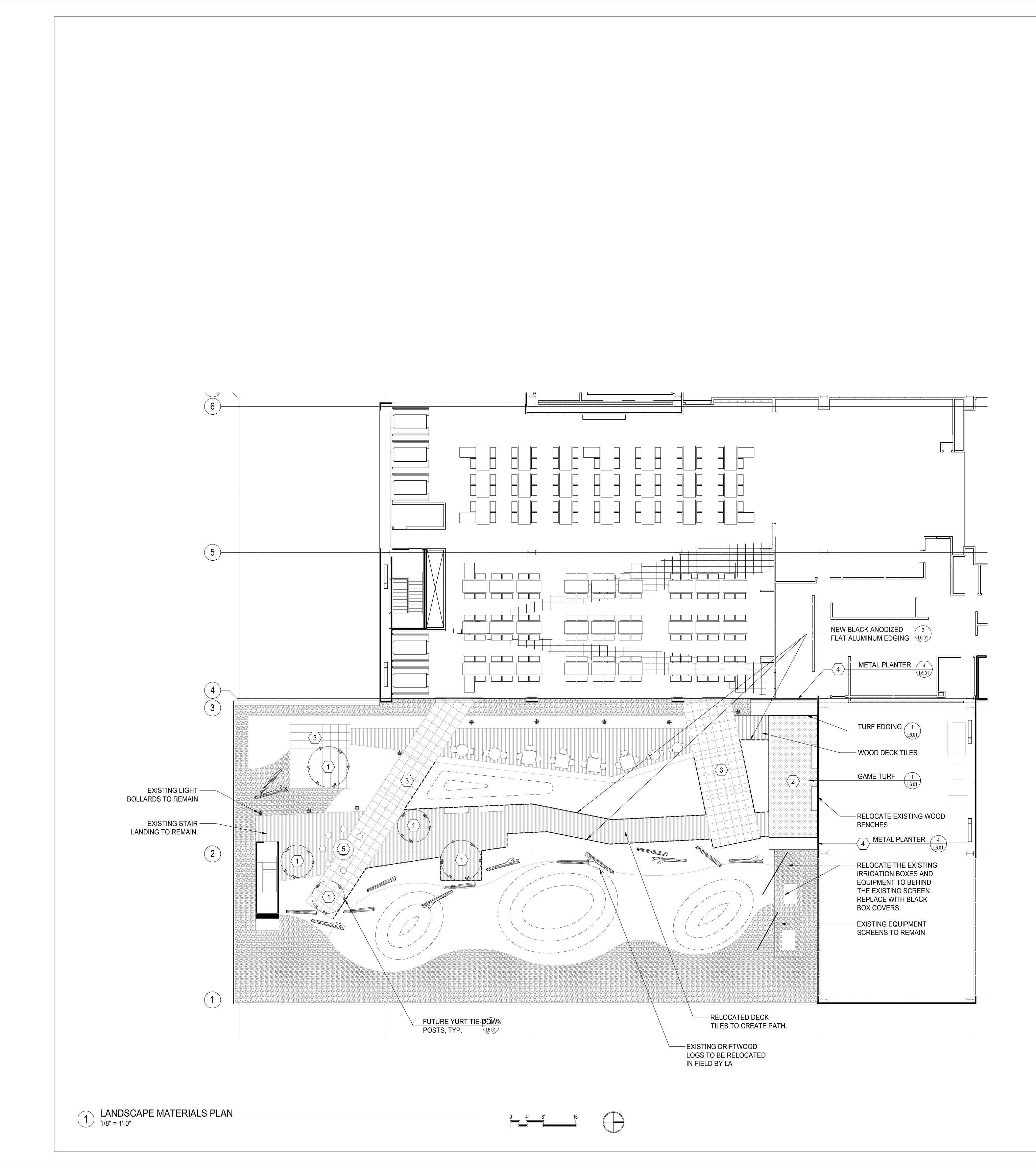
NOTES:

- EXISTING PLAN IS FROM PLAN SET DATED MARCH 15, 2021 FROM RYAN COMPANIES AND IS NOT AN AS-BUILT. AS SUCH DISCREPANCIES BETWEEN PLAN AND ACTUAL CONDITIONS IN FIELD MAY EXIST.
- 2. PRESERVE AND PROTECT EXISTING WATERPROOFING, AND ROOF DRAINS.
- EXISTING IRRIGATION AND VALVE BOXES TO REMAIN. VERIFY SYSTEM FULLY FUNCTIONS PRIOR TO STARTING ANY DEMOLITION. CUT AND CAP ANY IRRIGATION PIPING THAT IS ENCOUNTERED DURING DEMO AND WILL NEED RELOCATION. DOCUMENT LOCATIONS AND FLAG FOR RECONNECTION. LOCATE CONTROLLER AND IDENTIFY ALL ZONES PRIOR TO DEMO. DOCUMENT ACTIVE ZONES FOR REESTABLISHMENT AFTER COMPLETION OF IMPROVEMENTS.
- 4. SOME PAVERS HAVE STAINING ON THEM. REVIEW IN FIELD PRIOR TO REMOVAL. ASSUME 50% REPLACEMENT.
- 5. REVIEW PLANT MATERIALS IN FIELD WITH LA TO IDENTIFY ANY VEGETATION TO BE REMOVED AND REPLACED. ALL OTHER VEGETATION NOT IDENTIFIED FOR REMOVAL OR RELOCATION SHALL BE PROTECTED. PROVIDE TEMPORARY WATER DURING SUMMER SEASON IF IRRIGATION IS NOT RECONNECTED IN TIME.
- CAREFULLY INSPECT PEDESTALS DURING REMOVAL FOR REUSE. AND PEDESTALS WITH VISIBLE DAMAGE OR SIGNS OF CRACKING OR STRESS SHALL NOT BE REUSED. NEW PEDESTALS AND NEOPRENE PADS SHALL MATCH EXISTING MANUFACTURER AND MODEL
- 7. NOTIFY OWNER / ARCHITECT OF ANY EXISTING CONDITIONS OBSERVED DURING DEMO THAT MAY INDICATE DAMAGE OR REPAIR NEEDED OF WATERPROOFING OR ANY EXISTING MATERIALS TO REMAIN OR BE RELOCATED/ REUSED.
- MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS. INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN BODIES.
- 9. RESERVE AND PROTECT EXISTING HOSE BIBS.

Brumbaugh & Associates Landscape Architecture
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RIOT GAMES
MERCER ISLAND, WA 98040
WASHINGTON REGISTERED LANDSCAPE ARCHITECT KRISTEN B. LUNDQUIST CERTIFICATE NO. 815
SUBMITTAL 09.02.22 ISSUE FOR PLAN CHECK L3 TERRACE
REVISIONS
REVISION DATE REASON FOR ISSUE ISSUE DATE 09/02/2022
SHEET NAME DEMO PLAN
L1.01



Landscape Architectu 600 North 85th Street, Suite 102	re
Seattle, WA 98103 - 3826 Telephone 206 782 3650 Facsimile 206 782 3675	
RIOT GAMES MERCER ISLAND, WA	
98040	
STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITEC	T
KRISTEN B. LUNDQUIS CERTIFICATE NO. 815	
SUBMITTAL	
09.02.22 ISSUE FOR PLAN CHECK L3 TERRACE	
REVISIONS	
REVISION DATE REASON FOR ISSU ISSUE DATE 09/02/2022	JE
SHEET NAME	
LAYOUT PLAN -	



PAVING / MATERIALS LEGEND		
SYMBOL		DESCRIPTION
	$\langle 1 \rangle$	FUTURE CANVAS YURT WITH SINGLE DOOR AN
	2	SYNTHETIC TURF - PED BY EASTSIDE FOREVER
	3	CONCRETE PAVERS, 22 MARKED UP PAVERS W 50% OF EXISTING TO B
	4	ALUMINUM PLANTERS X X 24" HT.
	(5)	FIRE BOWL: BY LUMAC SMOOTH BASALT INFIL ELECTRONIC IGNITION SHUTOFF. NG FUEL. PF ALTERNATE.

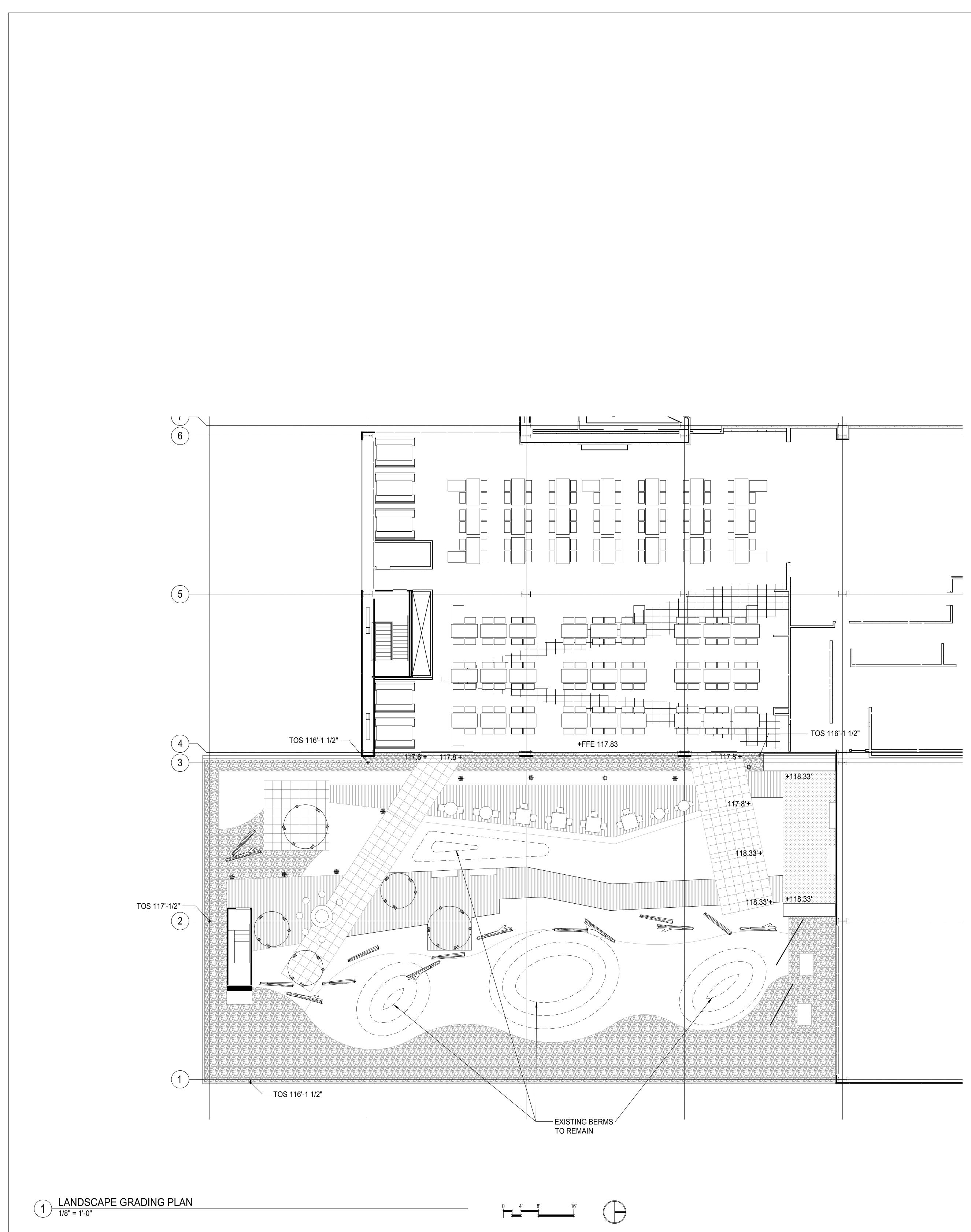
NOTES:

- FURNITURE SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING ROOF DRAINS AND BOXES AROUND PERIMETER OF TERRACE. WHERE ROOF DRAINS FALL UNDER PAVERS, INSTALL STAINLESS PIN ON SW CORNER OF PAVERS THAT SIT OVER DRAIN
- BODIES. 3. REUSE EXISTING DRIFTWOOD LOGS ON TERRACE. RELOCATE IN LANDSCAPE AREAS AS DIRECTED IN THE FIELD WITH LANDSCAPE ARCHITECT.
- COVER ANY BARE SOIL EXPOSED DURING CONSTRUCTION. UTILIZE FOAM AS NECESSARY TO ACHIEVE GRADES SHOWN. DO NOT EXCEED LOADING CAPACITY AS IDENTIFIED BY THE STRUCTURAL
- ENGINEER. PROVIDE ELECTRICAL RECEPTACLES FOR FUTURE AV SYSTEMS, 6 INCLUDING MICROPHONE HOOKUPS AND SPEAKERS. SEE ELECTRICAL PLANS.

RTS BY RAINIER OUTDOORS. KESTREL YURTS AND WINDOW. (3) 8' AND (2) 10' SIZES. EDESTAL SET. FUSION PRO SYNTHETIC TURF ER LAWN. 2X2'. CHARCOAL. REPLACE STAINED AND WITH NEW CHARCOAL PAVERS. ALLOW FOR BE REPLACED. S BY ORE. RECTANGLE PLANTERS. SIZES:

CAST. BOLA SLIM. 48" DIA. COLOR INKWELL. ILL. INCLUDE ALUMINUM TABLETOP. N. PROVIDE AUTO TIMER AND EMERGENCY PROVIDE PROPANE TANK AND KIT AS

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LAN			N -



NOTES AND ABBREVIATIONS:

- ALL EXISTING GRADES FOR FFE AND TOP OF STRUCTURE ARE BASED ON EXISTING EXTERIOR PLANS BY RYAN COMPANY. INFORMATION SHOULD BE FIELD VERIFIED FOR ACCURACY.
- FFE: FINISHED FLOOR ELEVATION
- TOS: TOP OF STRUCTURE
- TP: TOP OF PLANTER EDGING

RIOT GAN MERCER ISLAN 98040		
	STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT	_

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Facsimile 206 782 3675



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REVISIONS

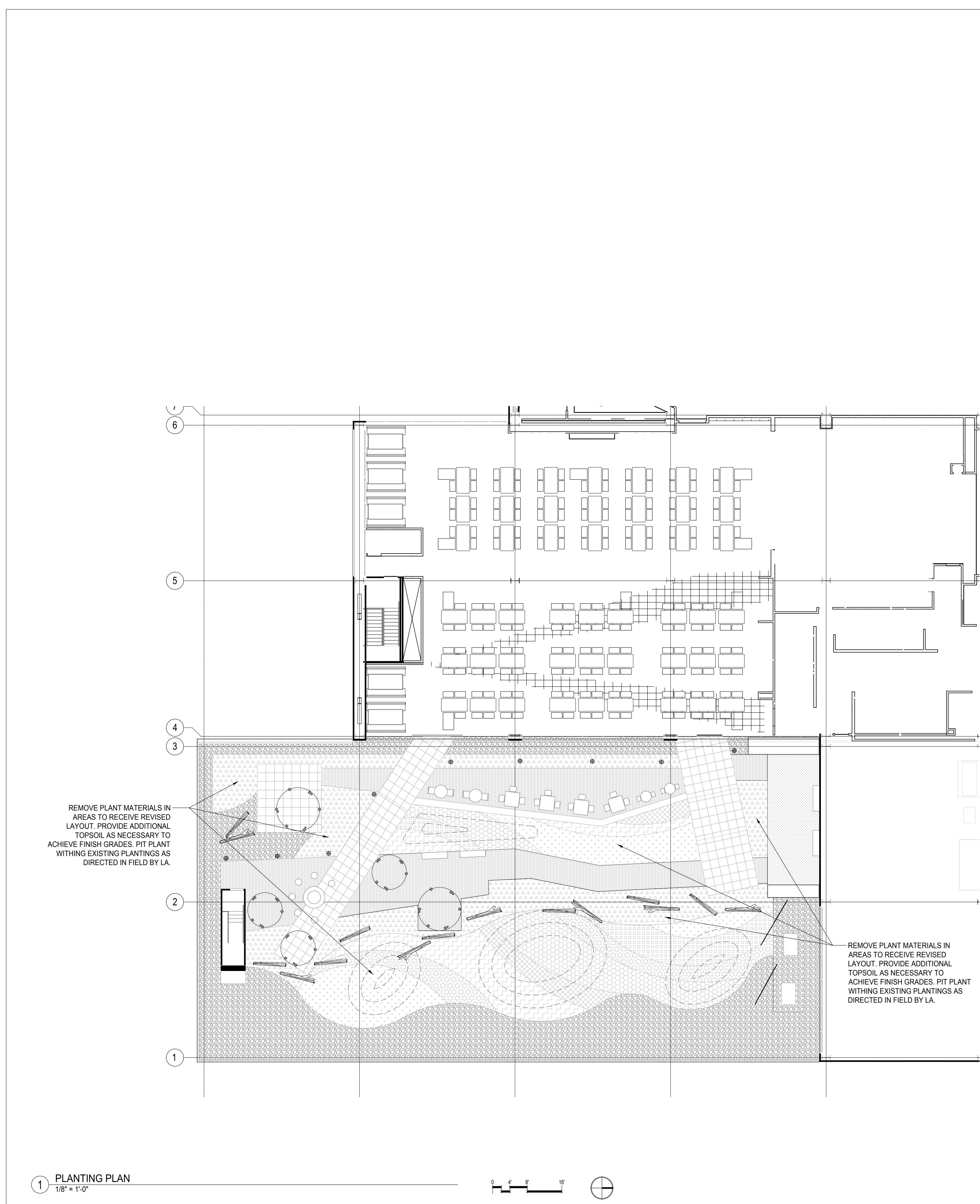
REVISION DATE REASON FOR ISSUE ISSUE DATE

SHEET NAME

09/02/2022

LANDSCAPE GRADING PLAN - TERRACE

SHEET NUMBER L4.01



LANDSCAPE NOTES

- CONTRACTOR TO REMOVE ALL EXISTING PLANT MATERIALS, NOT INDICATED TO REMAIN, FROM ALL AREAS INDICATED TO RECEIVE NEW LANDSCAPE IMPROVEMENTS. PRIOR TO REMOVAL, VERIFY LIMITS IN THE FIELD WITH LA.
- 2. ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED BY A FULLY FUNCTIONING IRRIGATION SYSTEM SPECIFIED ON THE EXISTING IRRIGATION PLANS. RESET AND REPAIR AS NECESSARY TO PROVIDE FULL COVERAGE TO ALL LANDSCAPE AREAS IMPACTED BY IMPROVEMENTS.
- 3. PLANTS TO BE LAID OUT BY LA IN FIELD PRIOR TO PIT PLANTING. PROVIDE QUANTITIES PRE SCHEDULE BELOW.
- 4. EXISTING PLANTING PER EXISTING PLANS SHOWN FOR REFERENCE ONLY.

PLANT SCHEDULE

QUANTITY BOTANICAL NAME / COMMON NAME

DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS
DIANELLA REVOLUTA 'DR5000' TM / LITTLE REV FLAX LILY
ELYMUS ARENARIUS BLUE DUNE / BLUE DUNE LYME GRASS
FESTUCA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE
GAURA LINDHEIMERI 'SISKIYOU PINK' / SISKIYOU PINK GAURA
HESPERALOE PARVIFLORA 'STRAIGHT UP RED' / STRAIGHT UP RED YUCCA
HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA
KNIPHOFIA X 'POCO YELLOW' / POCO YELLOW HOT POKER
MOLINIA CAERULEA ARUNDINACEA 'SKYRACER' / SKYRACER MOOR GRASS
PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS
PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS
PENNISETUM ORIENTALE 'KARLEY ROSE' / KARLEY ROSE FOUNTAIN GRASS
ROSMARINUS OFFICINALIS 'BLUE SPIRES' / BLUE SPIRES ROSEMARY
SEDUM SPECTABILE 'AUTUMN JOY' / AUTUMN JOY STONECROP
SEDUM TELEPHIUM 'DARK MAGIC' / DARK MAGIC STONECROP
VERBENA BONARIENSIS 'LOLLIPOP' / LOLLIPOP TALL VERBENA
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS

	SIZE	SPACING
	1 GAL	18" oc
	1 GAL	12" oc
	1 GAL	18" oc
	1 GAL	18" oc
	1 GAL	18" oc
D YUCCA	1 GAL	24" oc
	1 GAL	24" oc
	1 GAL	18" oc
R GRASS	1 GAL	24" oc
SS	1 GAL	24" oc
ASS	1 GAL	18" oc
IN GRASS	1 GAL	24" oc
RY	1 GAL	24" oc
	1 GAL	18" oc
	1 GAL	18" oc
	1 GAL	24" oc

1 GAL 18" oc

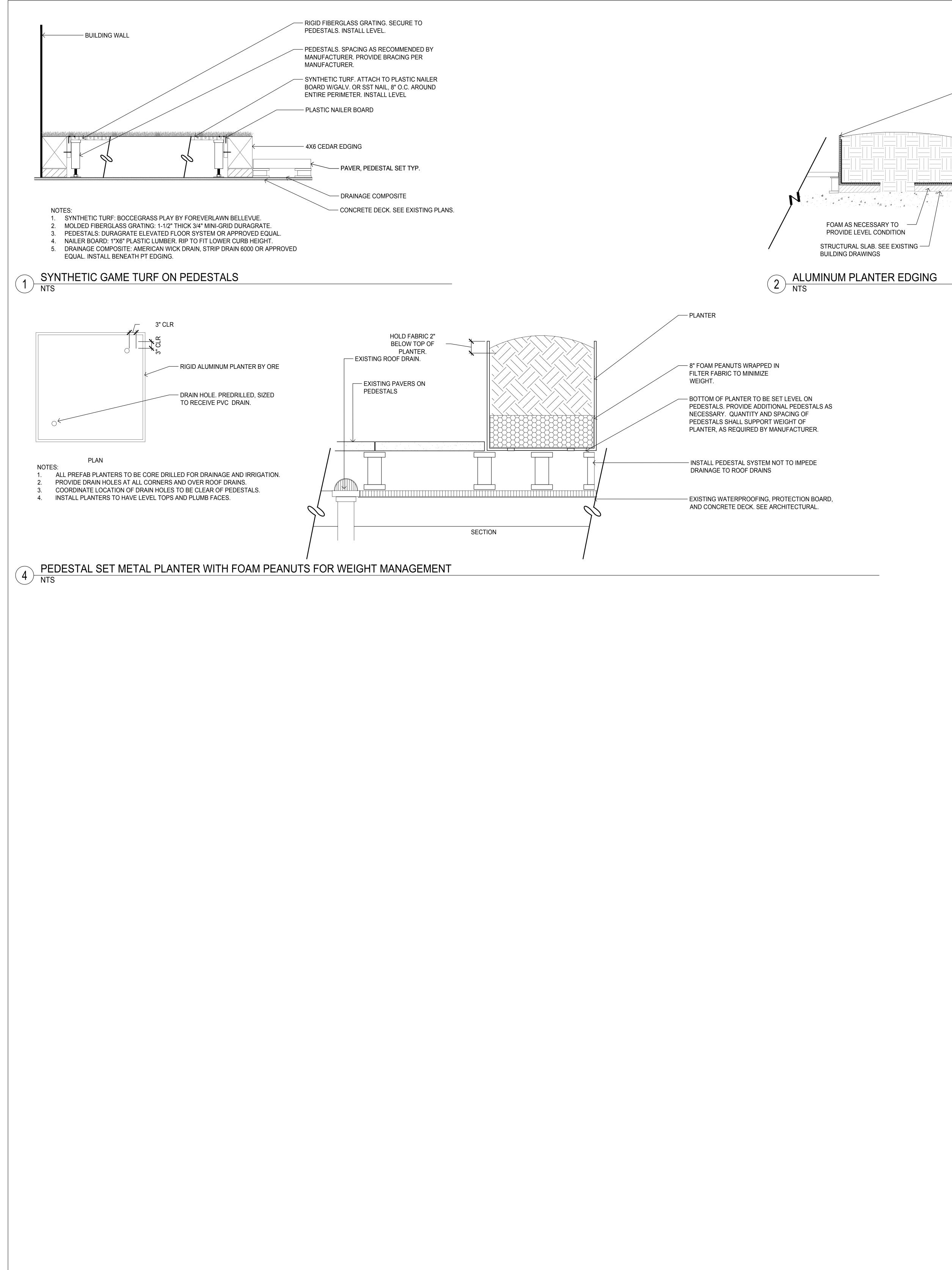
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WASHINGTON RECISTERED LANDSCAPE ARCHITECT KRISTEN B. LUNDQUIST CERTIFICATE NO. 815 SUBMITTAL 09.02.22 ISSUE FOR PLAN CHECK L3 TERRACE REVISIONS REVISIONS REVISION DATE REASON FOR ISSUE ISSUE DATE 09/02/2022 SHEET NAME PLANTING PLAN -	MERCER ISLAND, WA
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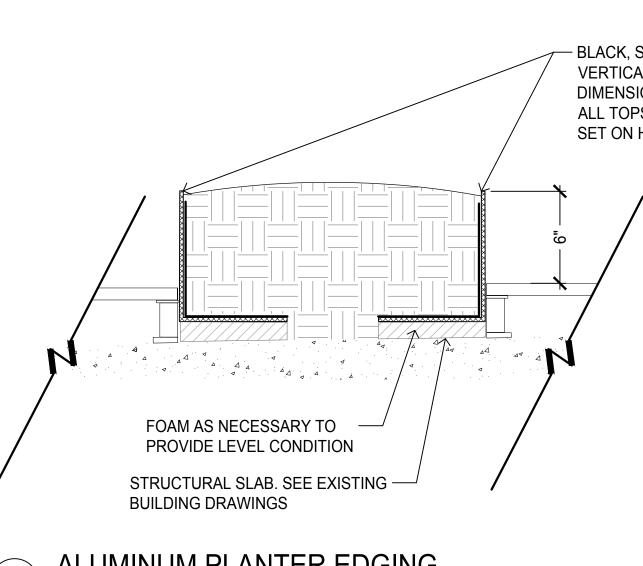
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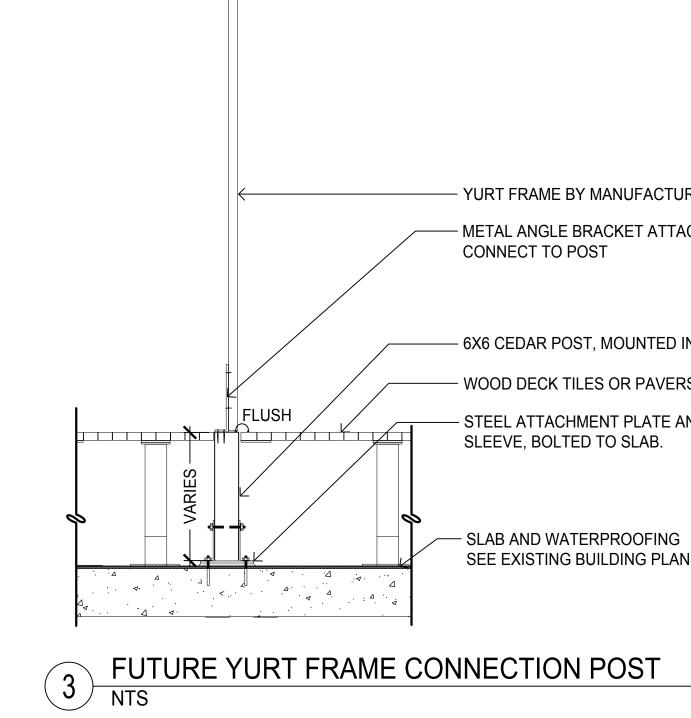
Facsimile 206 782 3675







– BLACK, SMOOTH ALUMINUM EDGING WITH RIGID VERTICAL SIDES, SLOTTED FOR DRAINAGE. BASE DIMENSIONS MATCH SIDES. POWDER COATED FINISH. ALL TOPS AND EDGES TO BE EASED AND SMOOTH. SET ON HIGH DENSITY RIGID FOAM TO LEVEL.



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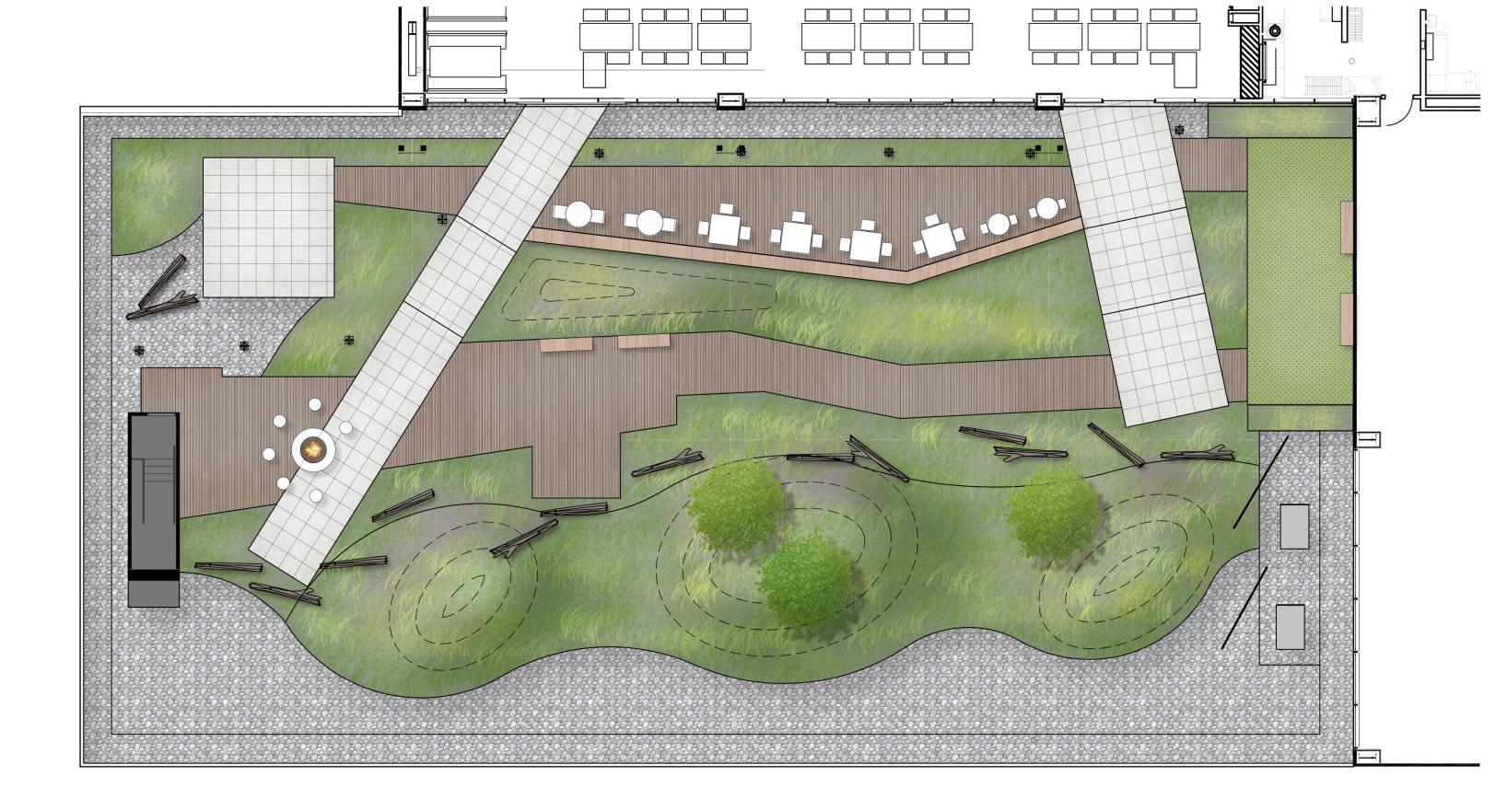


- YURT FRAME BY MANUFACTURER – METAL ANGLE BRACKET ATTACHED TO YURT FRAME. CONNECT TO POST

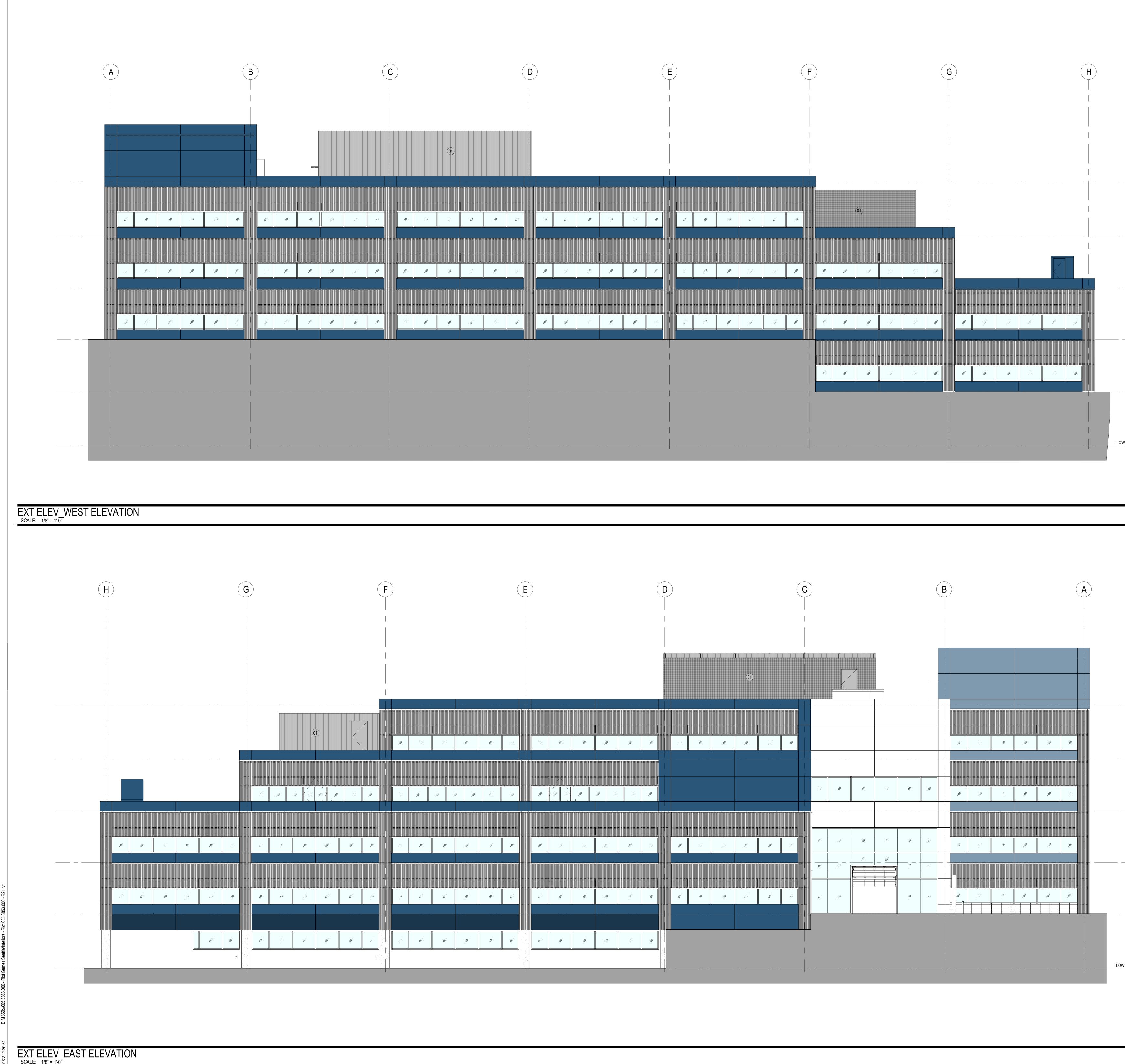
— 6X6 CEDAR POST, MOUNTED IN SLEEVE — WOOD DECK TILES OR PAVERS — STEEL ATTACHMENT PLATE AND SLEEVE, BOLTED TO SLAB.

— SLAB AND WATERPROOFING SEE EXISTING BUILDING PLANS

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DETAILS - TERRACE
SHEET NUMBER

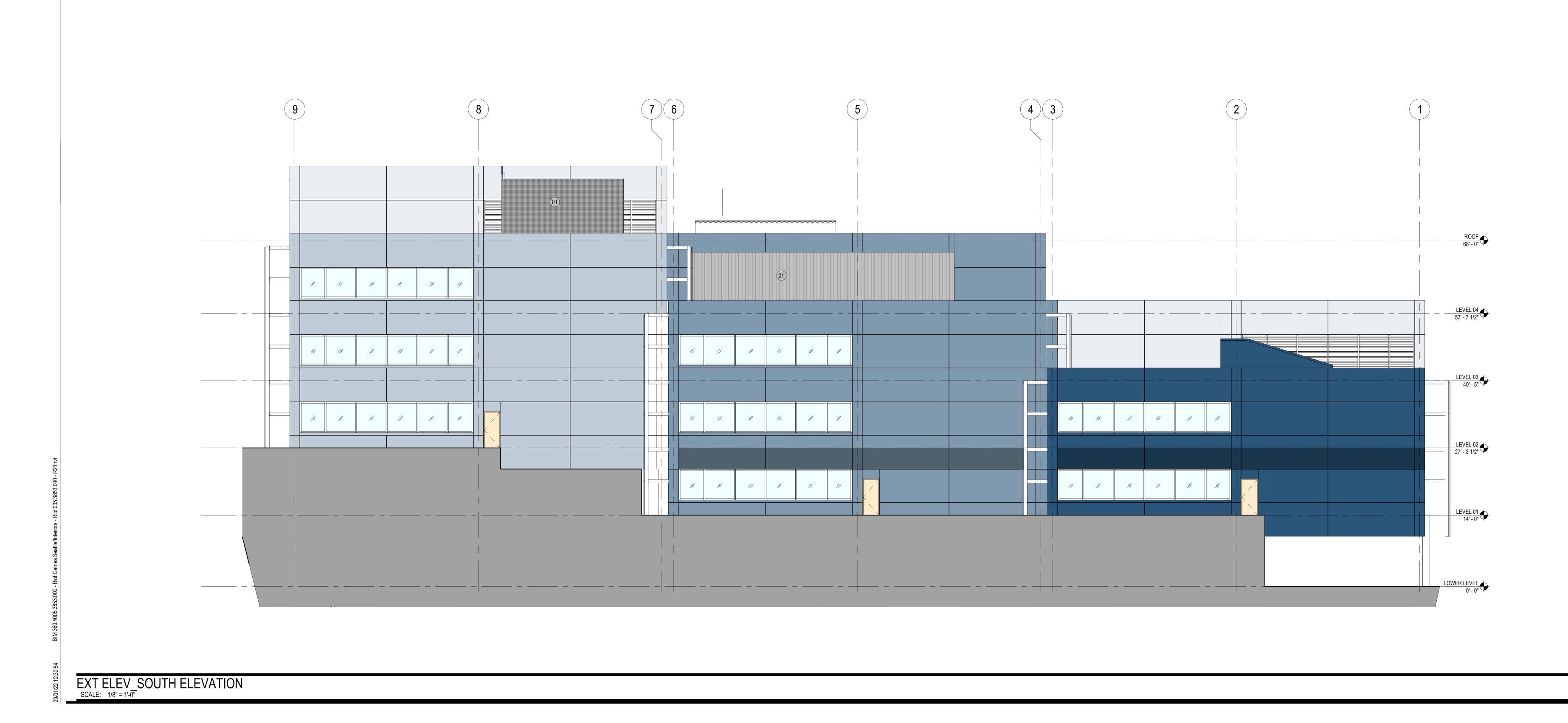






	01 (N) PROPOSE ROOF SCREEN	RIOT GAMES
		3003 77th Avenue Southeast Mercer Island WA 98040
		Canalar
		500 South Figueroa Street Tel 213.327.3600
		Los Angeles, California 90071 Fax 213.327.3601 United States
- ROOF 68' - 0"		
68' - 0" 🖤		
LEVEL 04 53' - 7 1/2"		
55 - 7 172 -		
LEVEL 02 27' - 2 1/2"		
	GENERAL NOTES	
LEVEL 01 14' - 0"		
14 - 0		
DWER <u>LEVEL</u> 0' - 0"		
2		
		△ Date Description
ROOF		
— <u>ROOF</u> 68' - 0"		
LEVEL 04 53' - 7 1/2"		
53' - 7 1/2" 🌩		
LEVEL 03 40' - 5"		
		Seal / Signature
LEVEL 02 27' - 2 1/2"		NOT FOR
		CONSTRUCTION
		Project Name
י ע־די '		Riot Games Mercer Island
		Project Number 05.3853.000
DWER LEVEL		Description
		EXTERIOR BUILDING ELEVATIONS
		Scale
		1/8" = 1'-0"
		EXT ELEV
1		

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SHEET NOTES	
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	WA 98040
	Gensler
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	Scale
	1/8" = 1'-0"
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